

CITY COUNCIL - CITY OF DANBURY

8

APPLICATION FOR EXTENSIONS OF

SANITARY SEWER MAIN

WATER MAIN

The applicant submits for consideration an application for extension of sanitary sewer and/or water facilities for property

Located at (street address) 3 SCUPPO ROAD

Assessor's Lot No.: F14 / 124

Zone: RMF-4

Intended Use: Retail	<input type="checkbox"/>	*Single Family Residential	<input type="checkbox"/>
Office	<input type="checkbox"/>	*Multiple Family Residential	<input checked="" type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Number of Efficiency Units	<input type="checkbox"/>
Industrial	<input type="checkbox"/>	Number of 1 Bedroom Units	<input type="checkbox"/>
		Number of 2 Bedroom Units	<u>4</u>
		Number of 3 Bedroom Units	<u>6</u>
		Total Number of Units	<u>10</u>

Name of Property Owner: MADELINE RIDGE, LLC

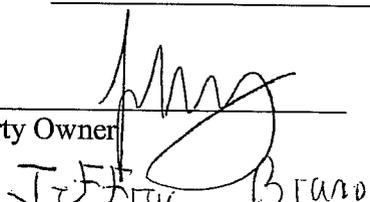
Address: P.O. BOX 412, BETHEL, CT., 06801

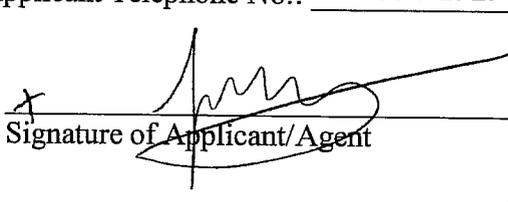
Name of Applicant/Agent: JEFFREY BRUNO

Address: P.O. BOX 412, BETHEL, CT., 06801

Owner Telephone No. : 203-994-1727

Applicant Telephone No.: 203-994-1727

x
Signature of Property Owner


x
Signature of Applicant/Agent


***APPLICANT MUST SEE CITY ENGINEER PRIOR TO SUBMITTING APPLICATION.**

PLEASE NOTE: 3 copies of schematic or preliminary engineering plans are required to be submitted with this application.

PLEASE SEE ATTACHED INSTRUCTIONS.

Richard W. Howard, Jr., P.E.
Russell T. Posthauer, Jr., P.E.
Michael J. Lillis, P.E.
Richard A. Bunnell, R.L.S.
Ronald J. George, P.E., R.L.S.
Steven C. Sullivan, P.E.
Ralph A. Klass, P.E., L.E.P.
Paul J. Connelly, L.E.P.
Roderick E. Cameron, R.L.A., AICP
Abigail Adams, R.L.A., LEED, AP



8-1
40 Old New Milford Road
Brookfield, CT 06804
(203) 775-6207
Fax (203) 775-3628
Email: mail@ccaengineering.com
33 Village Green Drive
Litchfield, CT 06759
(860) 567-3179
Fax (860) 567-1716
Email: cca_litchfield@snet.net

February 15, 2012

Hon. Mayor Mark D. Boughton
and The Danbury City Council
c/o Office of the Legislative Assistant
155 Deer Hill Avenue
Danbury, Connecticut 06810

RE: Sanitary Sewer Extension for 3 Scuppo
Road, Danbury – for Madeline Ridge, LLC

Dear Mayor Boughton:

Enclosed please find a request for an extension of municipal sanitary sewers to property located at 3 Scuppo Road. This request is made in conjunction with our client's plans to construct 10 units of multi-family housing on the property. The property is slightly less than 1 acre in size, is zoned RMF-4, and is located in an area with other multi-family housing developments.

All work to extend sewers to this property will be performed at the expense of Madeline Ridge, LLC. We have already met with the City Engineer's office to review this proposal.

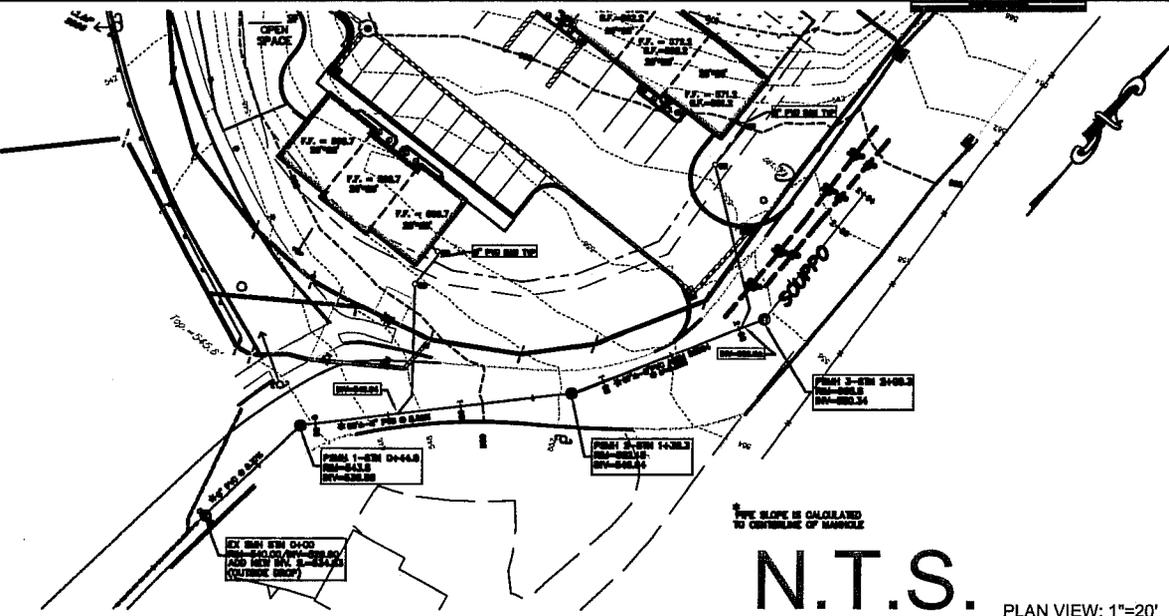
Thank you in advance for your time and cooperation. If you have any questions, please feel free to contact us.

Very truly yours,

Michael J. Lillis, P.E.
Project Manager

MJL/hf

cc: Madeline Ridge, LLC



PIPE SLOPE IS CALCULATED TO CENTERLINE OF MANHOLE

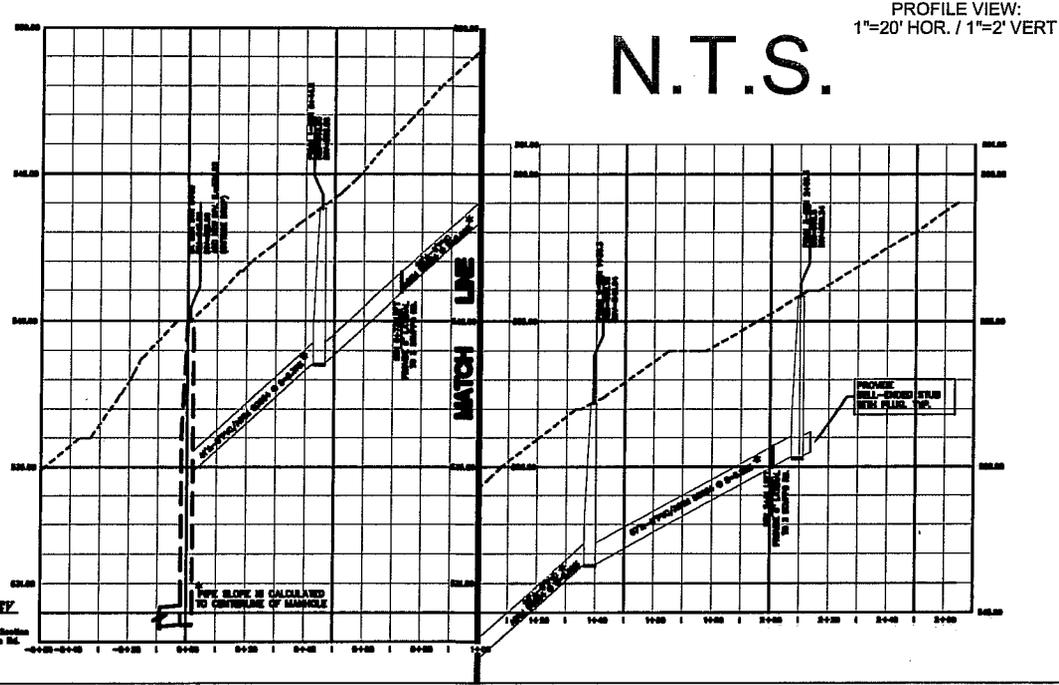
N.T.S. PLAN VIEW: 1"=20'

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND QUANTITIES AS SHOWN ON THE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WHO SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.
2. THE PRECISE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES IS UNKNOWN IF THEY ARE INDICATED AT ALL ON THESE PLANS, THEY ARE APPROXIMATE AND CCA, LLC, ITS PRINCIPLES OR EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND/OR ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SAID UTILITIES.
3. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
4. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARD DETAILS AND SPECIFICATIONS.
5. NOTIFY "CALL-BEFORE-YOU-DIG" (1-800-422-4455) FOR UTILITY MARKOUT PRIOR TO START OF CONSTRUCTION.
6. ROAD AND DRAINAGE MATERIALS AND METHODS TO MEET CONNECTICUT D.O.T. SPECIFICATIONS FOR ITEMS NOT SPECIFIED IN THE LOCAL MUNICIPALITY STANDARDS.

UTILITY CONSTRUCTION NOTES:

1. LENGTH OF PIPES ARE FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.
2. STATIONING BASED ON CENTERLINE OF PROPOSED ROAD AND LENGTHS OF PIPE.
3. MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN STORM DRAINAGE AND WATER MAINS AND SERVICES.
4. MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS AND SERVICES AND STORM DRAINS.
5. A MINIMUM OF 2-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF WATER MAINS AND ANY ADJACENT CATCH BASIN STRUCTURE.
6. A MINIMUM OF 2-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF SANITARY SEWER MAIN AND STORM SEWER PIPING & CATCH BASINS.
7. MAINTAIN A MINIMUM OF 10-FT HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS AND SERVICES.
8. MAINTAIN A MINIMUM OF 6-FT HORIZONTAL CLEARANCE BETWEEN GAS SERVICE ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.
9. MAINTAIN A MINIMUM OF 5-FT HORIZONTAL CLEARANCE BETWEEN UTILITY SERVICE (TEL, ELEC, CABLE, ETC) ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.



PROFILE VIEW:
1"=20' HOR. / 1"=2' VERT

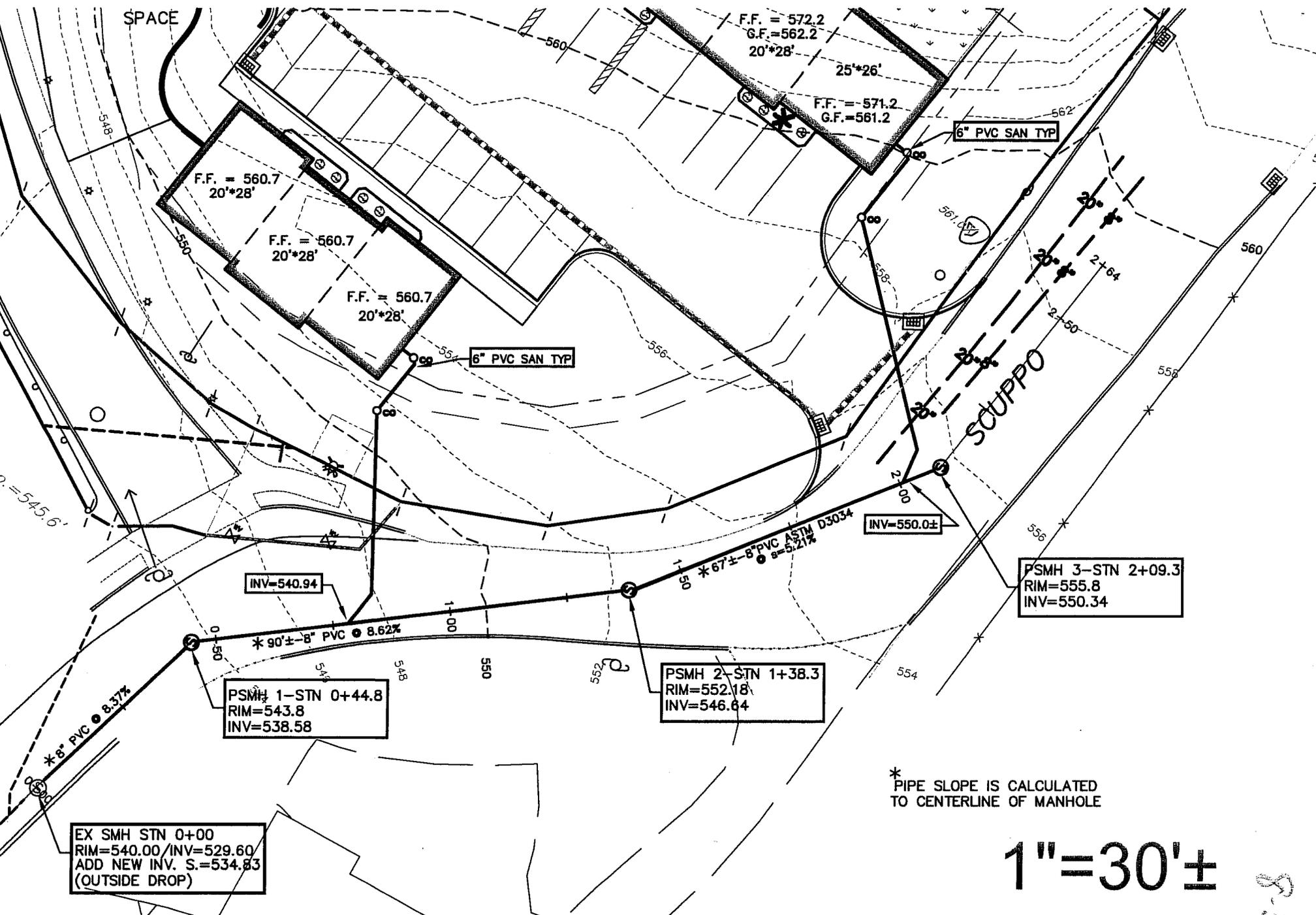
N.T.S.

DATUM ELEV
530.00
ORLEP Cadak, Inc.
SECTION George Rd.

<p>GENERAL NOTES:</p> <p>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND QUANTITIES AS SHOWN ON THE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WHO SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>LENGTH OF PIPES ARE FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.</p>
<p>GENERAL NOTES:</p> <p>THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>STATIONING BASED ON CENTERLINE OF PROPOSED ROAD AND LENGTHS OF PIPE.</p>
<p>GENERAL NOTES:</p> <p>NOTIFY "CALL-BEFORE-YOU-DIG" (1-800-422-4455) FOR UTILITY MARKOUT PRIOR TO START OF CONSTRUCTION.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN STORM DRAINAGE AND WATER MAINS AND SERVICES.</p>
<p>GENERAL NOTES:</p> <p>ROAD AND DRAINAGE MATERIALS AND METHODS TO MEET CONNECTICUT D.O.T. SPECIFICATIONS FOR ITEMS NOT SPECIFIED IN THE LOCAL MUNICIPALITY STANDARDS.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS AND SERVICES AND STORM DRAINS.</p>
<p>GENERAL NOTES:</p> <p>THE PRECISE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES IS UNKNOWN IF THEY ARE INDICATED AT ALL ON THESE PLANS, THEY ARE APPROXIMATE AND CCA, LLC, ITS PRINCIPLES OR EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND/OR ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SAID UTILITIES.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>A MINIMUM OF 2-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF WATER MAINS AND ANY ADJACENT CATCH BASIN STRUCTURE.</p>
<p>GENERAL NOTES:</p> <p>THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>A MINIMUM OF 2-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF SANITARY SEWER MAIN AND STORM SEWER PIPING & CATCH BASINS.</p>
<p>GENERAL NOTES:</p> <p>ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARD DETAILS AND SPECIFICATIONS.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>MAINTAIN A MINIMUM OF 10-FT HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS AND SERVICES.</p>
<p>GENERAL NOTES:</p> <p>NOTIFY "CALL-BEFORE-YOU-DIG" (1-800-422-4455) FOR UTILITY MARKOUT PRIOR TO START OF CONSTRUCTION.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>MAINTAIN A MINIMUM OF 6-FT HORIZONTAL CLEARANCE BETWEEN GAS SERVICE ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.</p>
<p>GENERAL NOTES:</p> <p>ROAD AND DRAINAGE MATERIALS AND METHODS TO MEET CONNECTICUT D.O.T. SPECIFICATIONS FOR ITEMS NOT SPECIFIED IN THE LOCAL MUNICIPALITY STANDARDS.</p>	<p>UTILITY CONSTRUCTION NOTES:</p> <p>MAINTAIN A MINIMUM OF 5-FT HORIZONTAL CLEARANCE BETWEEN UTILITY SERVICE (TEL, ELEC, CABLE, ETC) ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.</p>

Date	01-09-2012
<p>SANITARY SEWER PLAN / PROFILE MULTI-FAMILY HOUSING PROPOSAL PREPARED FOR MADELEINE RIDGE LLC 3 SCUCCO ROAD, DANBURY, CT.</p>	
Scale	1"=20'
Proj. No.	11115
File No.	2155
Acad No.	11115SP1
Sheet	C-4
	
<p>40 Old New Market Road Brookfield, CT 06804 (203)775-6107</p>	
<p>33 Village Green Drive Litchfield, CT 06759 (860)647-5178</p>	

8.22



EX SMH STN 0+00
 RIM=540.00/INV=529.60
 ADD NEW INV. S.=534.83
 (OUTSIDE DROP)

PSMH 1-STN 0+44.8
 RIM=543.8
 INV=538.58

PSMH 2-STN 1+38.3
 RIM=552.18
 INV=546.64

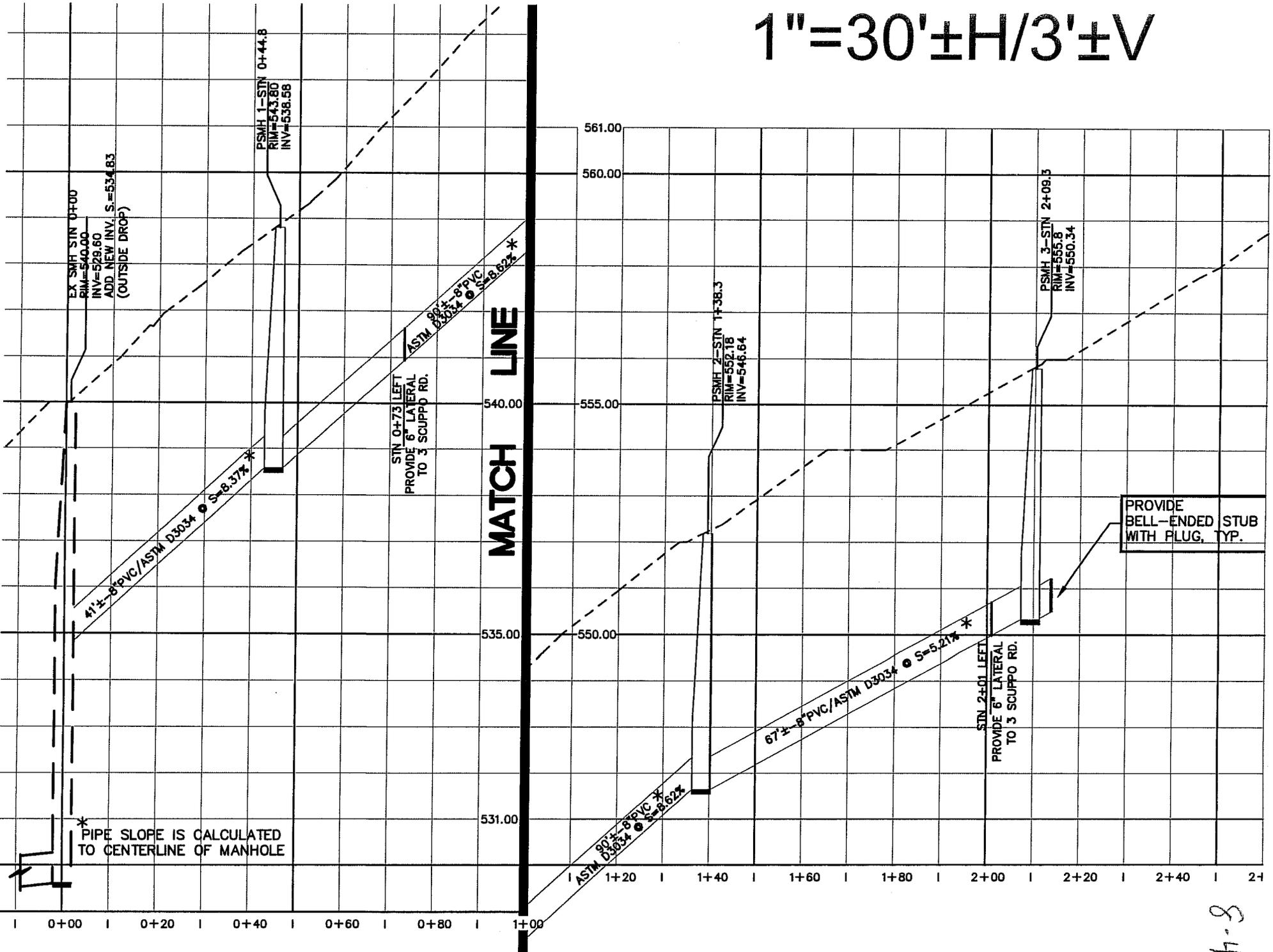
PSMH 3-STN 2+09.3
 RIM=555.8
 INV=550.34

* PIPE SLOPE IS CALCULATED TO CENTERLINE OF MANHOLE

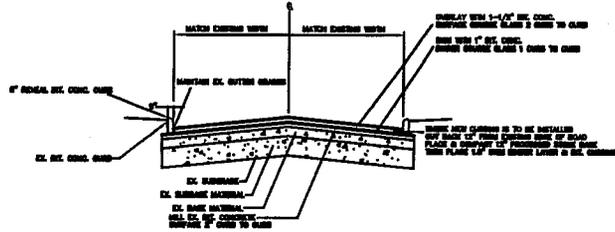
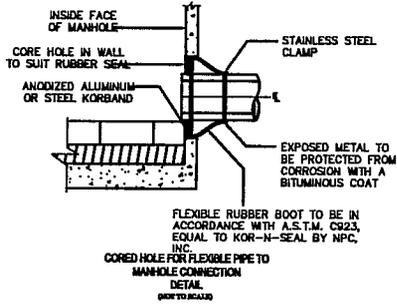
1"=30'±

8-3

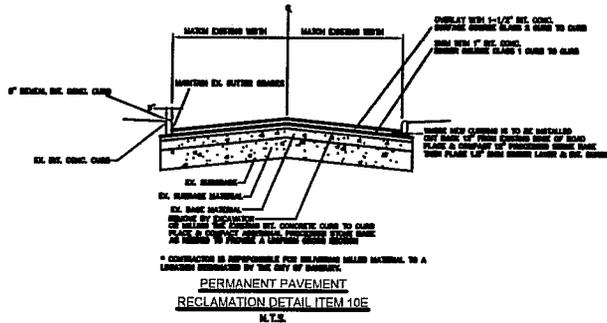
1"=30'±H/3'±V



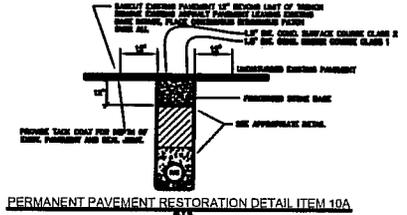
8-4



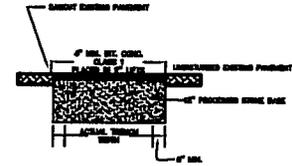
PERMANENT PAVEMENT RESTORATION DETAIL ITEM 10.0 & 10.1
N.T.S.



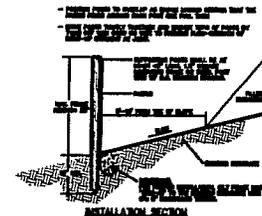
PERMANENT PAVEMENT RECLAMATION DETAIL ITEM 10E
N.T.S.



PERMANENT PAVEMENT RESTORATION DETAIL ITEM 10A
N.T.S.



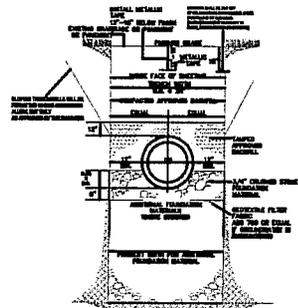
TEMPORARY PAVEMENT PATCHING DETAIL
N.T.S.



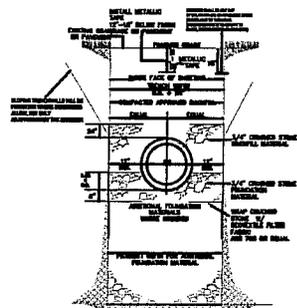
GEOTEXTILE SILT FENCE (WING)
N.T.S.



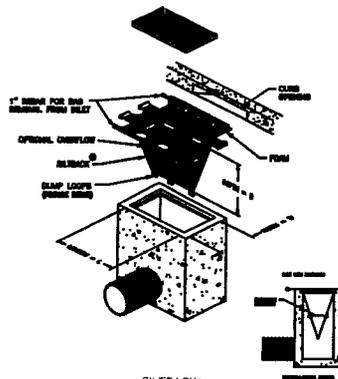
DETAIL OF FENCE JOINT (TOP VIEW)
N.T.S.



STORM DRAINAGE TRENCH IN EARTH
(SEE SCALE)



PERFORATED STORM DRAINAGE TRENCH IN EARTH
(SEE SCALE)



N.T.S.

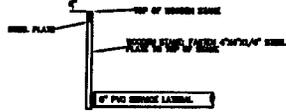
Date:	01/09/2012
Scale:	AS NOTED
Proj. No.:	11115
File No.:	-
Acad. No.:	11115SP1
Sheet:	5 of 12

SANITARY SEWER NOTES & DETAILS II
MULTI-FAMILY HOUSING PROPOSAL
PREPARED FOR
MADELEINE RIDGE LLC
3 SCUPPO ROAD, DANBURY, CT.

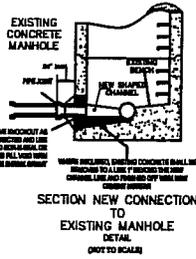
40 Old New Milford Road
Bloomfield, CT 06044
(860) 247-4207

33 Village Green Drive
Litchfield, CT 06039
(860) 547-3170

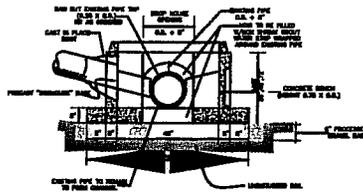
8-5



DETAIL-MARKER AT END OF
SANITARY SEWER SERVICE LATERALS
N.T.S.

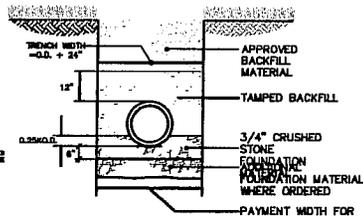


SECTION NEW CONNECTION TO
EXISTING MANHOLE
DETAIL
(NOT TO SCALE)

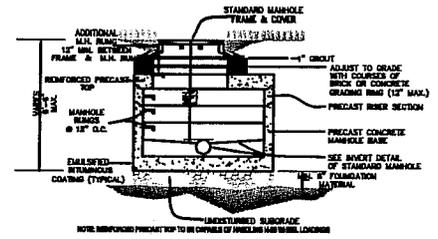


PRECAST DOG HOUSE BASE
DETAIL
(NOT TO SCALE)

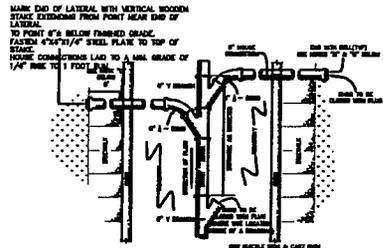
NOTE: PVC SHALL BE INSTALLED AS PER MANUFACTURER'S
RECOMMENDATIONS.



TYPICAL TRENCH SECTION
FOR HOUSE CONNECTIONS
DETAIL
(NOT TO SCALE)



SECTION SHALLOW MANHOLE
DETAIL



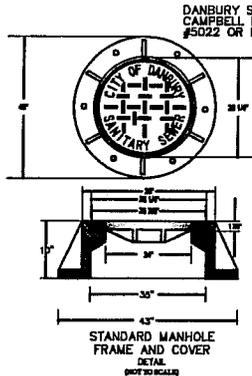
PLAN OF
STANDARD HOUSE CONNECTION
DETAIL
(NOT TO SCALE)

NOTE: A STANDARD HOUSE CONNECTION WITH 6\"/>

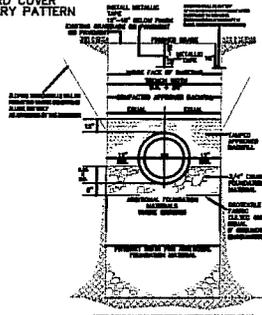
NOTE: IN MAKING A LATERAL, IT IS RECOMMENDED TO BRICK BACK IN TO BE PLUMB TO A POINT 6\"/>

NOTE: CLADDING TO EXCEED A MINIMUM OF 4\"/>

NOTE: THE USE OF REBAR CONCRETS WILL BE DETERMINED AS THE FIELD BY THE CITY INSPECTOR. THUS, THE NUMBER AND SIZE OF REBAR AND THE LATERAL SHALL BE AS AT THE DISCRETION OF A CONTRACTOR WHO IS AWARE THE CONTRACT SHALL BE AN APPROVED AND A PROPER COPY BEFORE FINAL REVIEW.



STANDARD MANHOLE
FRAME AND COVER
DETAIL
(NOT TO SCALE)



TRENCH IN EARTH
DETAIL
(NOT TO SCALE)

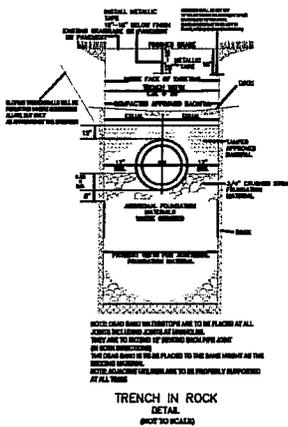
GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND QUANTITIES AS SHOWN ON THE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WHO SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.
2. THE PRECISE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES (WHETHER IF THEY ARE LOCATED AT ALL) ON THESE PLANS, THEY ARE APPROXIMATE AND C&A, L.L.C.'S PRINCIPLES OR EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND/OR ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SUCH UTILITIES.
3. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION ANY WAY AND IS ADVISED TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
4. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARD DETAILS AND SPECIFICATIONS.
5. HOTSPY CALL BEFORE YOU DIG! (1-800-925-4488) FOR UTILITY MARKOUT PRIOR TO ANY CONSTRUCTION.
6. ROAD AND DRAINAGE MATERIALS AND METHODS TO MEET CODES SET BY THE CITY OF DANBURY FOR THIS NOT SPECIFIED BY THE LOCAL MUNICIPALITY STANDARDS.
7. THE CONTRACTOR IS TO PROVIDE AND BE FAMILIAR WITH THE CITY OF DANBURY ENGINEERING DEPARTMENT GENERAL INFORMATION GUIDE AND CITY SPECIFICATIONS FOR SANITARY SEWER INSTALLATIONS.
8. THE EXACT LOCATIONS OF SERVICE CONNECTIONS ARE TO BE DETERMINED BY THE ENGINEER ON CONTRACTOR AT THE FIELD AND ARE SUBJECT TO CONFIRMATION WITH PROPERTY OWNERS.

N.T.S.

UTILITY CONSTRUCTION NOTES:

1. LENGTH OF PIPES ARE APPROXIMATELY FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.
2. STATIONING BASED ON CENTERLINE OF PROPOSED UTILITY.
3. MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND OTHER DRAINAGE.
4. MAINTAIN A MINIMUM OF 18-IN VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN AND SERVICES.
5. MAINTAIN A MINIMUM OF 12-IN VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND ALL OTHER UTILITIES.
6. A MINIMUM OF 2-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF WATER MAINS AND ANY KILN-DRIED GUYOR BASKET STRUCTURE.
7. A MINIMUM OF 3-FT HORIZONTAL CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF SANITARY SEWER MAIN AND OTHER SERVICE PIPES TO A CATCH BASIN.
8. MAINTAIN A MINIMUM OF 10-FT HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAINS AND SERVICES UNLESS SHOWN OTHERWISE.
9. MAINTAIN A MINIMUM OF 6-FT HORIZONTAL CLEARANCE BETWEEN GAS SERVICE ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.
10. MAINTAIN A MINIMUM OF 4-FT HORIZONTAL CLEARANCE BETWEEN UTILITY SERVICE (TEL, ELEC, CABLE, ETC.) ALIGNMENT AND SEWER AND WATER MAIN ALIGNMENTS.
11. MINIMUM SLOPE OF THE BUILDING SANITARY SEWER LATERALS IS 2% AND SHALL MEET THE PLUMBING CODE REQUIREMENTS.



TRENCH IN ROCK
DETAIL
(NOT TO SCALE)

Draw	Revision
SANITARY SEWER NOTES & DETAILS I MULTI-FAMILY HOUSING PROPOSAL PREPARED FOR MADELINE RIDGE LLC 3 SCUPPO ROAD, DANBURY, CT.	
Date	01/06/2012
Scale	AS NOTED
Proj No:	11115
File No:	-
Acad No:	11115SP1
Sheet	San. D1
40 Old New Milford Road Brookfield, CT 06004 (203)775-0237	
33 Village Green Drive Litchfield, CT 06759 (860)567-3179	